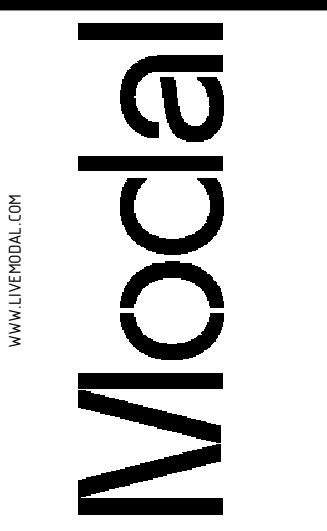
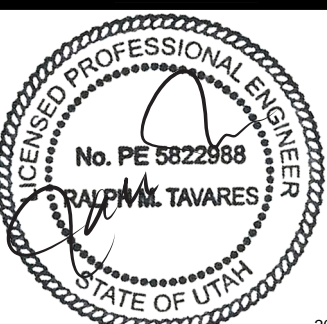


# MODAL 02 - 1364 Emigration St, Salt Lake City, UT 84108



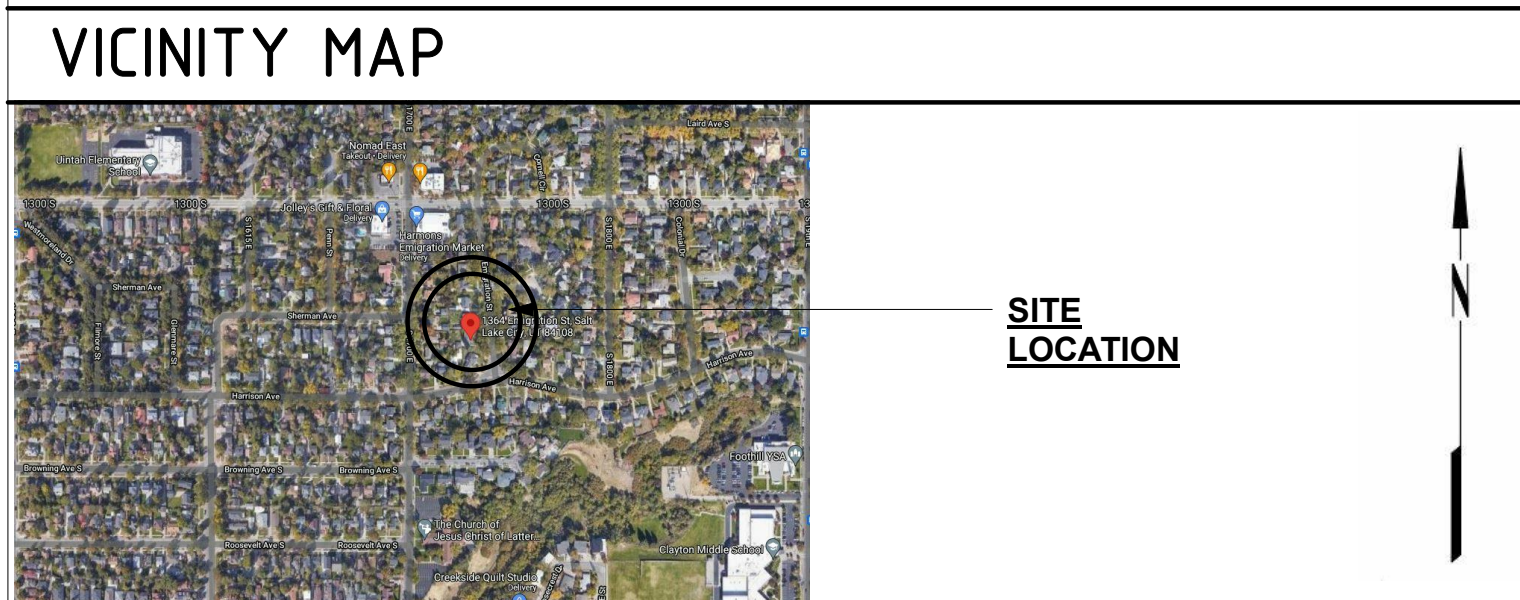
MODAL 02 PRODUCTION SET  
1364 Emigration Street  
Salt Lake City, UT 84108

REVISIONS  
PERMIT SET 11/10/20  
CONFORM SET  
MARK DATE  
PLOT DATE 2021.07  
PROJECT RST420197  
DRAWN BY RA  
CHECKED BY RFR/RT  
SHEET TITLE  
COVER

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BLUE STAKES OF UTAH  
UTILITY NOTIFICATION CENTER, INC.  
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PROJECT TEAM	SCOPE OF WORK	LEGAL DESCRIPTION	LEGEND																																																																																																														
<b>PROJECT OWNER</b> Kim Sheffield k1k1ds2@sina.com (801) 243-1004 1364 Emigration Street, Salt Lake City, UT 84108  <b>3RD PARTY BUILDING INSPECTOR</b> Interfek-PSI 1748 33rd Street Orlando, FL 32839 ryan.knowles@interfek.com 407-304-5560	<b>MODULAR BUILDING MANUFACTURER</b> Triple M Housing 3501 Giffen Road N Lethbridge, AB T1H 0E8, Canada bnugent@mmmhousing.com 403-320-8588  <b>STRUCTURAL ENGINEER</b> R&S TAVARES ASSOCIATES, INC. RALPH TAVARES rick@rstavares.com 11590 W Bernardo Court, Suite 100 San Diego, CA 92127 (858) 444-3344	<b>PROJECT ARCHITECT</b> R&S TAVARES ASSOCIATES, INC. RALPH TAVARES rick@rstavares.com 11590 W Bernardo Court, Suite 100 San Diego, CA 92127 (858) 444-3344  <b>GENERAL CONTRACTOR</b> TBD	<b>THE FOLLOWING SCOPE OF WORK TO BE SUBMITTED TO LOCAL JURISDICTIONS AS DESIGN-BUILD BY CONTRACTOR :</b>  1. ELECTRICAL SUPPLY TO UNIT 2. LATERAL CONNECTIONS TO (E) SEWER 3. STRUCTURAL FOUNDATIONS 4. STRUCTURAL EXTERIOR DECK	<b>A PORTION OF LOTS 17 AND 18, BLOCK 1, EMIGRATION PARK, A SUBDIVISION OF PART OF LOT 11 AND PART OF LOT 10, BLOCK 13, FIVE ACRE PLAT "C", BIG FIELD SURVEY, AND PART OF BLOCK 13, F.M. LYMAN JR'S SURVEY, OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, DESCRIBED AS FOLLO:</b>  BEGINNING AT A POINT 10 FEET NORTH OF THE NORTHWEST CORNER OF LOT 16, BLOCK 1, SAID EMIGRATION PARK, AND RUNNING THENCE WEST 55 FEET; THENCE NORTH 66 FEET, THENCE EAST 6 FEET; THENCE NORTH 5 FEET; THENCE EAST 128.5 FEET, MORE OR LESS, TO THE WEST LINE OF EMIGRATION STREET; THENCE SOUTH 6°20' EAST 71.43 FEET, MORE OR LESS, TO A POINT EAST OF BEGINNING; THENCE WEST 87.50 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.	<table border="1"> <tr> <td>A/C</td> <td>ASPHALTIC CONCRETE</td> <td>INV.</td> <td>INVERT</td> <td>WM.</td> <td>WATER VALVE</td> </tr> <tr> <td>BW</td> <td>BACK OF WALK</td> <td>IP</td> <td>IRON PIPE</td> <td>-CTV-</td> <td>CABLE TELEVISION LINE</td> </tr> <tr> <td>CB</td> <td>CATCH BASIN</td> <td>JP</td> <td>JOINT POLE</td> <td>-E-</td> <td>ELECTRICAL LINE</td> </tr> <tr> <td>C&amp;G</td> <td>CONCRETE CURB AND GUTTER (STANDARD)</td> <td>LAT.</td> <td>LATERAL</td> <td>-G-</td> <td>GAS LINE</td> </tr> <tr> <td>CMP</td> <td>CORRUGATED METAL PIPE</td> <td>LG</td> <td>LIP OF GUTTER</td> <td>-SS-</td> <td>SANITARY SEWER LINE</td> </tr> <tr> <td>CONC</td> <td>CONCRETE</td> <td>O/H</td> <td>OVERHEAD</td> <td>-SD-</td> <td>STORM DRAIN LINE</td> </tr> <tr> <td>CO</td> <td>CLEAN-OUT</td> <td>P.U.E</td> <td>PUBLIC UTILITIES EASEMENT</td> <td>-T-</td> <td>TELEPHONE LINE</td> </tr> <tr> <td>DI</td> <td>DROP INLET</td> <td>RCP</td> <td>REINFORCED CONCRETE PIPE</td> <td>-W-</td> <td>WATER LINE</td> </tr> <tr> <td>EM</td> <td>ELECTRIC METER</td> <td>RET.</td> <td>REINFORCED WALL</td> <td></td> <td></td> </tr> <tr> <td>FD</td> <td>FOUND</td> <td>R/W</td> <td>RIGHT OF WAY</td> <td></td> <td></td> </tr> <tr> <td>FF</td> <td>FINISH FLOOR</td> <td>SSCO</td> <td>SANITARY SEWER CLEAN-OUT</td> <td></td> <td></td> </tr> <tr> <td>FL</td> <td>FLOW LINE</td> <td>SSMH</td> <td>SANITARY SEWER MANHOLE</td> <td></td> <td></td> </tr> <tr> <td>FH</td> <td>FIRE HYDRANT</td> <td>SDMH</td> <td>STORM DRAIN MANHOLE</td> <td></td> <td></td> </tr> <tr> <td>GA</td> <td>GUY ANCHOR</td> <td>TBC</td> <td>TOP BACK OF CURB</td> <td></td> <td></td> </tr> <tr> <td>GM</td> <td>GAS METER</td> <td>T/W</td> <td>TOP OF WALL</td> <td></td> <td></td> </tr> <tr> <td>GRD</td> <td>GROUND</td> <td>U/G</td> <td>UNDERGROUND</td> <td></td> <td></td> </tr> <tr> <td>HCR</td> <td>HANDICAP RAMP</td> <td>VCP</td> <td>VITRIFIED CLAY PIPE</td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td>WV</td> <td>WATER VALVE</td> <td></td> <td></td> </tr> </table>	A/C	ASPHALTIC CONCRETE	INV.	INVERT	WM.	WATER VALVE	BW	BACK OF WALK	IP	IRON PIPE	-CTV-	CABLE TELEVISION LINE	CB	CATCH BASIN	JP	JOINT POLE	-E-	ELECTRICAL LINE	C&G	CONCRETE CURB AND GUTTER (STANDARD)	LAT.	LATERAL	-G-	GAS LINE	CMP	CORRUGATED METAL PIPE	LG	LIP OF GUTTER	-SS-	SANITARY SEWER LINE	CONC	CONCRETE	O/H	OVERHEAD	-SD-	STORM DRAIN LINE	CO	CLEAN-OUT	P.U.E	PUBLIC UTILITIES EASEMENT	-T-	TELEPHONE LINE	DI	DROP INLET	RCP	REINFORCED CONCRETE PIPE	-W-	WATER LINE	EM	ELECTRIC METER	RET.	REINFORCED WALL			FD	FOUND	R/W	RIGHT OF WAY			FF	FINISH FLOOR	SSCO	SANITARY SEWER CLEAN-OUT			FL	FLOW LINE	SSMH	SANITARY SEWER MANHOLE			FH	FIRE HYDRANT	SDMH	STORM DRAIN MANHOLE			GA	GUY ANCHOR	TBC	TOP BACK OF CURB			GM	GAS METER	T/W	TOP OF WALL			GRD	GROUND	U/G	UNDERGROUND			HCR	HANDICAP RAMP	VCP	VITRIFIED CLAY PIPE					WV	WATER VALVE		
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- ### GENERAL NOTES
- UTILITY LOCATIONS ARE SHOWN SCHEMATICALLY. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO THE EXECUTION OF ANY WORK.
  - WHEN SHOWN IN SITE PLAN, ALL DIMENSIONS ARE TO FACE OF FINISH TO PROPERTY LINES, IMAGINARY LINES, SETBACKS, ETC., U.N.O.
  - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
  - SEE BUILDING PLANS FOR ALL OTHER NOTES AND DIMENSIONS NOT SHOWN HERE.
  - NO PART OF RETAINING WALLS AND FOOTINGS SHALL ENCRUCH INTO ADJACENT PROPERTIES OR EASEMENTS.
  - THE PROPERTY OWNER SHALL MAINTAIN ALL DRAINAGE FACILITIES LOCATED WITHIN THE PARCEL AND BE RESPONSIBLE TO PREVENT DAMAGE TO DOWNSTREAM PROPERTIES.
  - CONTRACTOR IS TO CONTACT AND ABIDE BY THE RULES OF THE UTAH DIVISION OF AIR QUALITY, (801) 536-4000.
  - IF NO GAS UTILITY LINE OR METER ARE SHOWN ON THESE DRAWINGS THEN THERE IS NO GAS SERVICE PROVIDED TO THE SUBJECT PROPERTY.
  - SEE SHEET G002 FOR SLCPU GENERAL NOTES

### PROJECT INFORMATION

<b>ADDRESS:</b>	1364 Emigration Street, Salt Lake City, UT 84108
<b>PARCEL RECORD #:</b>	16162020050000
<b>MINIMUM LOT SIZE:</b>	NOT REQUIRED
<b>LOT AREA:</b>	.22 ACRES (9779 SF)
<b>AUTHORITY W/ JURISDICTION:</b>	Salt Lake City
<b>EXISTING HOME SIZE:</b>	1,602 SF/2 = 801 SF (ADU SHALL NOT EXCEED 50% OF EXISTING HOME FOOT PRINT.)
<b>DESCRIPTION:</b>	MODULAR DETACHED ACCESSORY DWELLING UNIT TO BE ADDED TO EXISTING SINGLE FAMILY RESIDENCE PROPERTY.
<b>ADU SIZE:</b>	553SF + 37SF DECK = 590SF (SHALL NOT EXCEED 801SF)
<b>ZONING:</b>	R-1-5000 - 21A.24.070
<b>CONSTRUCTION TYPE:</b>	VB (WOOD FRAME)
<b>PROJECT AREA (GROSS SF):</b>	590SF
<b>PARKING REQUIRED:</b>	1* YES NOT REQUIRED IF 1/4 MILE FROM MASS TRANSIT ON STREET PARKING MAY COMPLY

### NOTICE TO ALL:

IT IS THE RESPONSIBILITY OF EACH AND EVERY CONTRACTOR, SUB-CONTRACTOR, AND/OR TRADE TO VERIFY ALL ASPECTS OF THESE DRAWINGS AND TO MAKE ANY AND ALL CORRECTIONS, ALTERATIONS, AND/OR CHANGES NECESSARY TO COMPLY WITH ALL CODE REQUIREMENTS, LOCAL REGULATIONS, AND PROPER DESIGN CRITERIA, UPON NOTIFICATION OF THE GENERAL CONTRACTOR AND DESIGNER AND TO ASSURE THE FUNCTION AND/OR OPERATION OF THE SAME, TO A REASONABLE STANDARD, AS REQUIRED BY LAW.

### UTILITY NOTE

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

### ZONING INFORMATION R-1-5000 - 21A.24.070

	REQUIRED	COMPLIANCE
<b>SURFACE COVERAGE:</b>	40% MAX 9,779	YES
<b>STRUCTURE COVERAGE:</b>	Existing: 1,602 SF/2 = 801 SF ADU: 553 SF ADU DECK: 37 SF TOTAL: 2,192 SF (22%)	YES
<b>ACCESSORY DWELLING UNITS REQUIRED COMPLIANCE</b>		
<b>SURFACE COVERAGE:</b>	50% of existing dwelling area Existing: 1,602 SF/2 = 801 SF ADU: 553 SF ADU DECK: 37 SF TOTAL ADU: 590 SF	YES
<b>SURFACE COVERAGE:</b>	50% MAX OF REAR YARD Rear Yard Size: 4,450 SF Structure Coverage: NEW ADU: 553 SF + 37 SF (DECK) TOTAL: 590 SF	YES
<b>SETBACKS (DETACHED ADU):</b>	Rear Yard: 4' From S.F.R.: 10' Side Yard: *4' REQUIRED *10' Required if unit faces side property line, includes access Stairway	YES YES YES
<b>STRUCTURE HEIGHT:</b>	17' OR HEIGHT OF EXISTING SFR YES	
<b>FIRE SPRINKLING:</b>	NO (ACTUAL)	

### DEFERRED SUBMITTALS:

DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO RANGE ARCHITECTURE AND DESIGN, WHO SHALL REVIEW AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATION THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE PROJECT. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTED DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

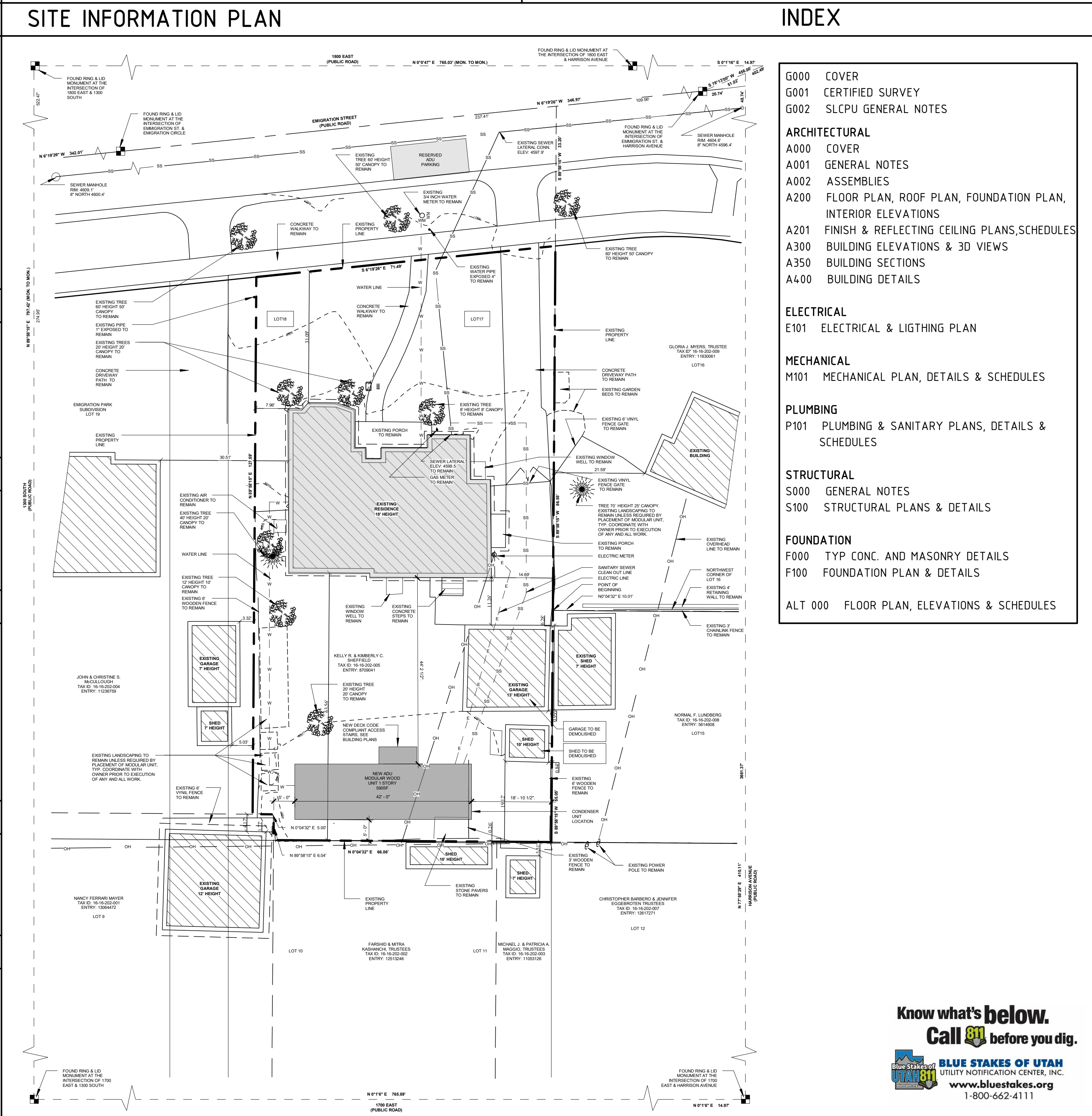
THE FOLLOWING ARE DEFERRED SUBMITTAL ITEMS:  
1. N/A

### APPLICABLE CODES:

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES:  
 · 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) AS AMENDED BY THE STATE OF UTAH  
 · 2018 INTERNATIONAL FIRE CODE (IFC)

### CONTRACTOR RESPONSIBILITIES

THE PROVIDED SITE PLAN IS DRAWN SCHEMATICALLY. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR (GC) TO EXECUTE ANY/ALL REQUIRED SITE UTILITY & PREPARATION WORK IN ACCORDANCE WITH ALL APPLICABLE CODES & THE AUTHORITY HAVING JURISDICTION (AHJ). GENERALLY, THE GC SHALL BE RESPONSIBLE FOR THE COORDINATION, EXECUTION AND APPROVAL OF ALL WORK OUTSIDE OF THE MODULAR UNIT BUILDING ENVELOPE.



### INDEX

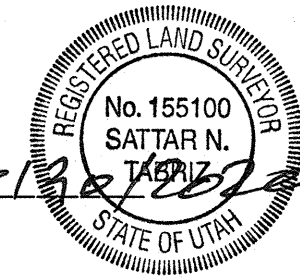
G000	COVER
G001	CERTIFIED SURVEY
G002	SLCPU GENERAL NOTES
<b>ARCHITECTURAL</b>	
A000	COVER
A001	GENERAL NOTES
A002	ASSEMBLIES
A200	FLOOR PLAN, ROOF PLAN, FOUNDATION PLAN, INTERIOR ELEVATIONS
A201	FINISH & REFLECTING CEILING PLANS, SCHEDULES
A300	BUILDING ELEVATIONS & 3D VIEWS
A350	BUILDING SECTIONS
A400	BUILDING DETAILS
<b>ELECTRICAL</b>	
E101	ELECTRICAL & LIGHTING PLAN
<b>MECHANICAL</b>	
M101	MECHANICAL PLAN, DETAILS & SCHEDULES
<b>PLUMBING</b>	
P101	PLUMBING & SANITARY PLANS, DETAILS & SCHEDULES
<b>STRUCTURAL</b>	
S000	GENERAL NOTES
S100	STRUCTURAL PLANS & DETAILS
<b>FOUNDATION</b>	
F000	TYP CONC. AND MASONRY DETAILS
F100	FOUNDATION PLAN & DETAILS
ALT 000	FLOOR PLAN, ELEVATIONS & SCHEDULES

# SHEFFIELD BOUNDARY SURVEY

LOCATED WITHIN THE NORTHEAST QUARTER OF SECTION 16,  
TOWNSHIP 1 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN  
1364 SOUTH EMIGRATION STREET, SALT LAKE CITY, UTAH

### SURVEYOR'S CERTIFICATE

I, SATTAR N. TABRIZ A PROFESSIONAL LAND SURVEYOR HOLDING LICENSE NUMBER 155100, IN ACCORDANCE WITH THE LAWS OF THE STATE OF UTAH HEREBY CERTIFY THAT I HAVE MADE A SURVEY OF THE HEREON DESCRIBED TRACT OF LAND AND THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION OF SAID SURVEY.



SATTAR N. TABRIZ, PLS.  
UTAH LICENSE NO.: 155100  
DATE:  
HEREIN.

### SURVEYOR'S NARRATIVE

THIS SURVEY WAS CONDUCTED AT THE REQUEST OF THE CLIENT FOR THE PURPOSES OF RETRACING THE BOUNDARY AND SHOWING A TOPOGRAPHIC VIEW OF THE PROPERTY AS SHOWN HEREON.

### GENERAL NOTES

- NO TITLE COMMITMENT WAS SUPPLIED TO THE SURVEYOR AT THE TIME OF THE SURVEY.
- THIS MAP IS NOT PROOF OF OWNERSHIP.
- THIS MAP MAKES NO ASSUMPTIONS AS TO ANY UNWRITTEN RIGHTS THAT MAY EXIST BY AND BETWEEN THE ADJOINING LAND OWNERS.
- COURSES AND DISTANCES SHOWN ON THIS MAP ARE MEASURED DIMENSIONS TAKEN FROM ACTUAL FIELD MEASUREMENTS, UNLESS CONTAINED WITHIN PARENTHESIS INDICATING A RECORD COURSE OR DISTANCE. RECORD INFORMATION IS TAKEN FROM MAPS, PLATS, DEEDS OF RECORD, OR OTHER SOURCES OF RECORD INFORMATION.
- UTILITY LOCATIONS SHOWN HEREON ARE BASED UPON ABOVE GROUND STRUCTURES COMBINED WITH UTILITY MAPS PROVIDED BY THE UTILITY COMPANIES. THE LOCATIONS OF UNDER GROUND STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN HEREON. BLUESTAKES OF UTAH SHOULD BE CONTACTED PRIOR TO ANY EXCAVATION OF THE SITE.
- PROPERTY CORNERS NOT FOUND WERE MARKED WITH A 5/8" REBAR AND NYLON CAP STAMPED "WARD", OR A NAIL AND WASHER BEARING THE SAME INSIGNIA, UNLESS OTHERWISE NOTED ON THIS MAP.

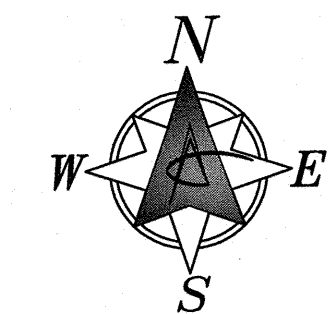
### LEGAL DESCRIPTION

ENTRY NO. 8709041  
A PORTION OF LOTS 17 AND 18, BLOCK 1, EMIGRATION PARK, A SUBDIVISION OF PART OF LOT 11 AND PART OF LOT 10, BLOCK 13, FIVE ACRE PLAT "C", BIG FIELD SURVEY, AND PART OF BLOCK 13, F.M. LYMAN JR.'S SURVEY, OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, DESCRIBED AS FOLLOWS:  
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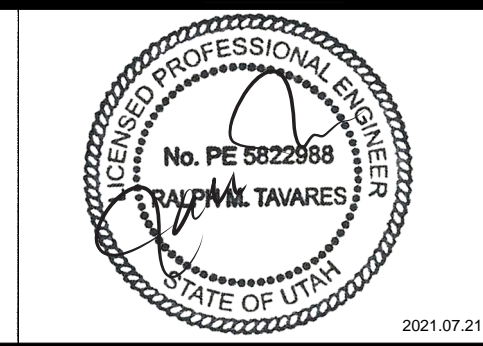
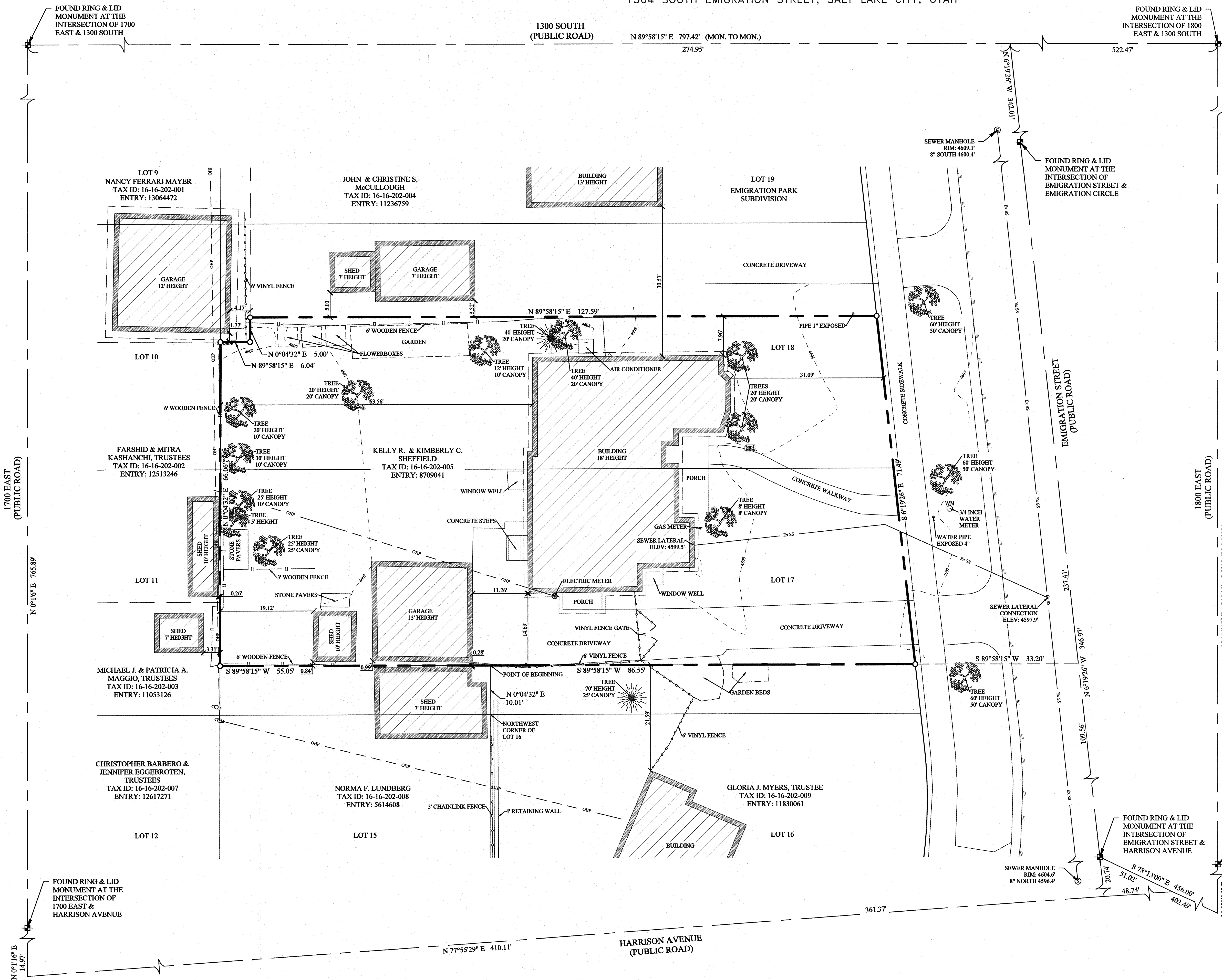
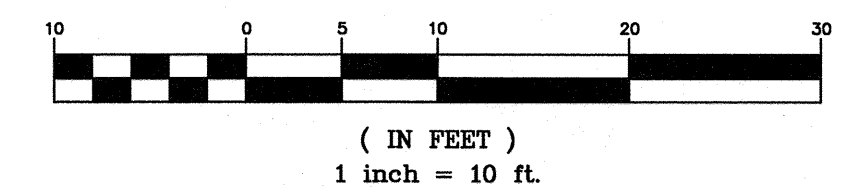
### MAP LEGEND

BOUNDARY LINE	
CENTERLINE	
RIGHT OF WAY	
LOT LINE	
DEED LINE	
RADIAL LINE	
FENCE LINE (CHAINLINK)	
CONCRETE	
ASPHALT	
OVERHEAD POWER LINE	
MONUMENT	
LEAD PLUG	
BOUNDARY CORNER	
POWER POLE	
LIGHT POLE	
FIRE HYDRANT	
WATER VALVE	
WATER METER	
SEWER CLEANOUT	
GAS METER	
POWER METER	
MAJOR CONTOUR	
MINOR CONTOUR	

NOTE:  
CONTOURS ARE SHOWN IN 1' INTERVALS



GRAPHIC SCALE



**Modal**

MODAL 02 PRODUCTION SET  
1364 Emigration Street  
Salt Lake City, UT 84108

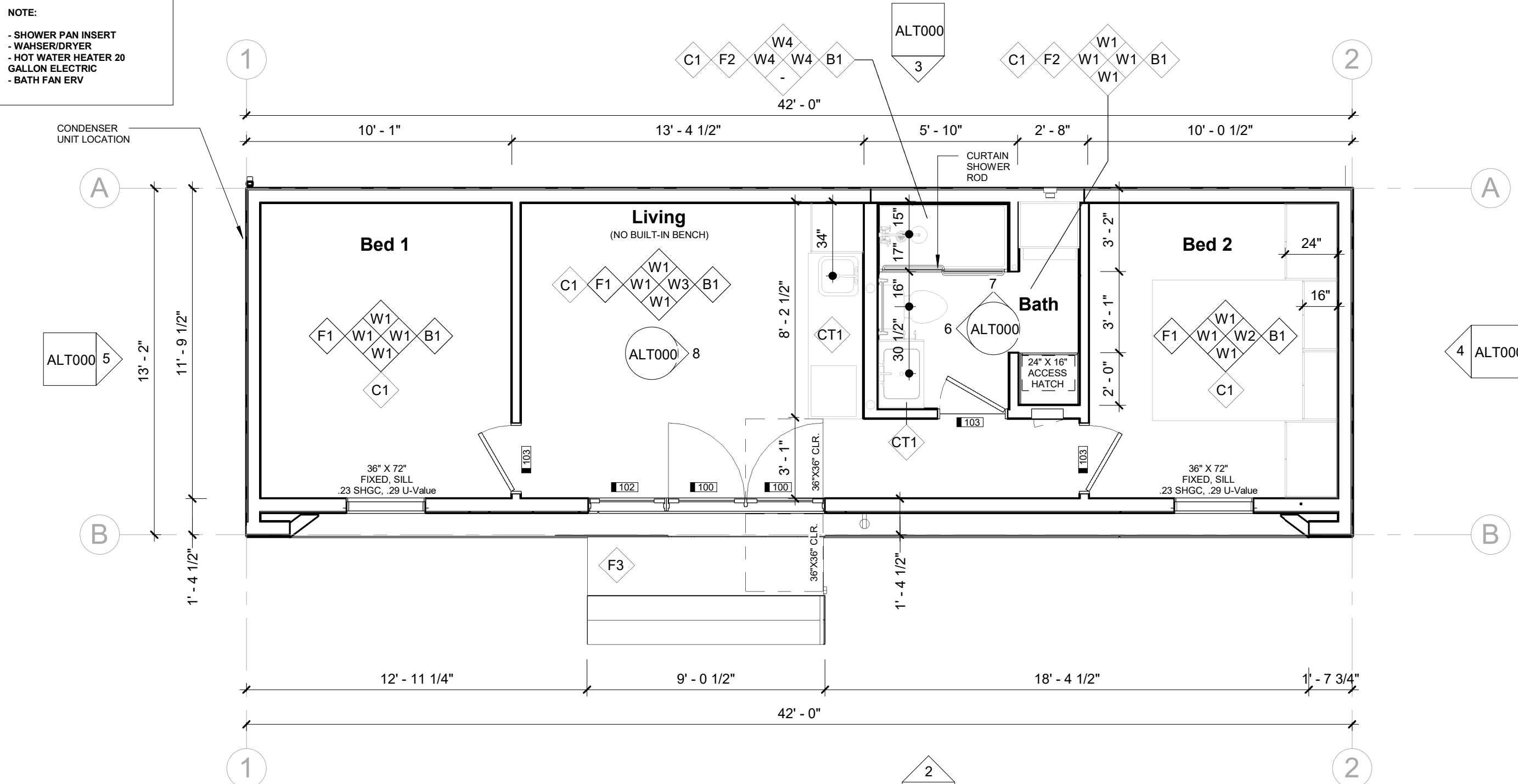
REVISIONS	DATE
PERMIT SET	07/20/21
CONFORM SET	
MARK	DATE

PLOT DATE	202107
PROJECT	RS1820197
DRAWN BY	Author
CHECKED BY	Checker
SHEET TITLE	

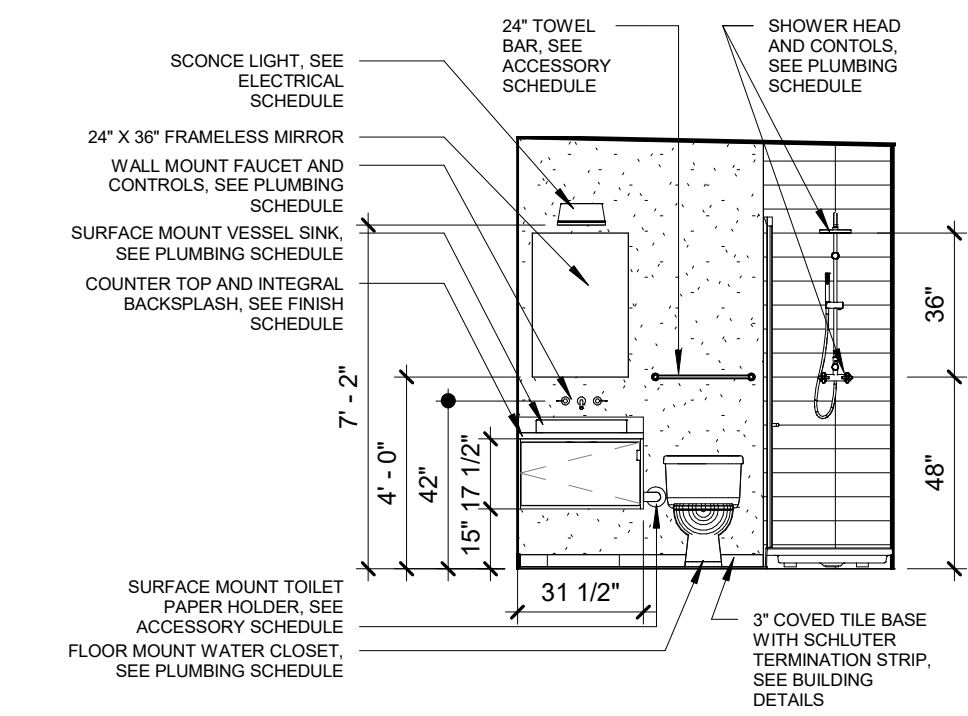
CERTIFIED SURVEY

# G001

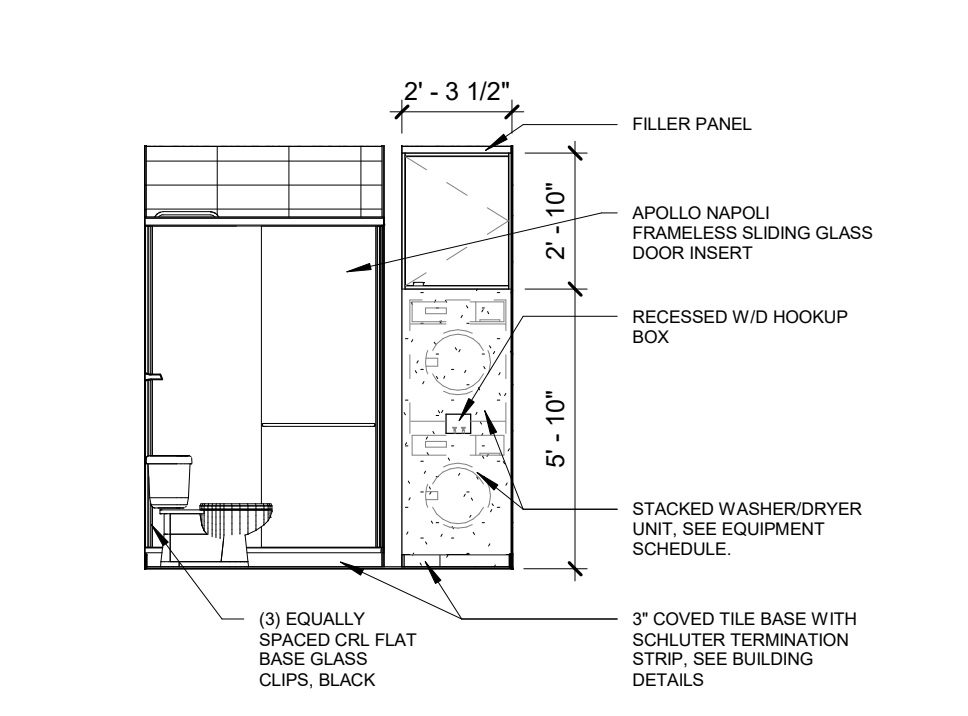
THE DESIGN AND IDEAS SHOWN AND HEREIN DESCRIBED, THE TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION, AND MODELS THEREOF HAVE BEEN PREPARED AS AN INSTRUMENT OF SERVICE FOR THIS SOLE PROJECT AND SHALL REMAIN THE SOLE PROPERTY OF RANGE ARCHITECTURE AND DESIGN AND THEIR CONSULTANTS. WITHOUT THE SOLE AND EXPRESSED WRITTEN PERMISSION OF RANGE ARCHITECTURE AND DESIGN, REPRODUCTION, DUPLICATION, COPYING, IMITATION, COMMERCIAL EXPLOITATION, OR USE FOR ANY OTHER PURPOSE OTHER THAN FOR THIS SPECIFIC PROJECT IS PROHIBITED. THIS INSTRUMENT OF SERVICE IS SUBJECT TO THE FULL EXTENT OF LEGAL ACTION.



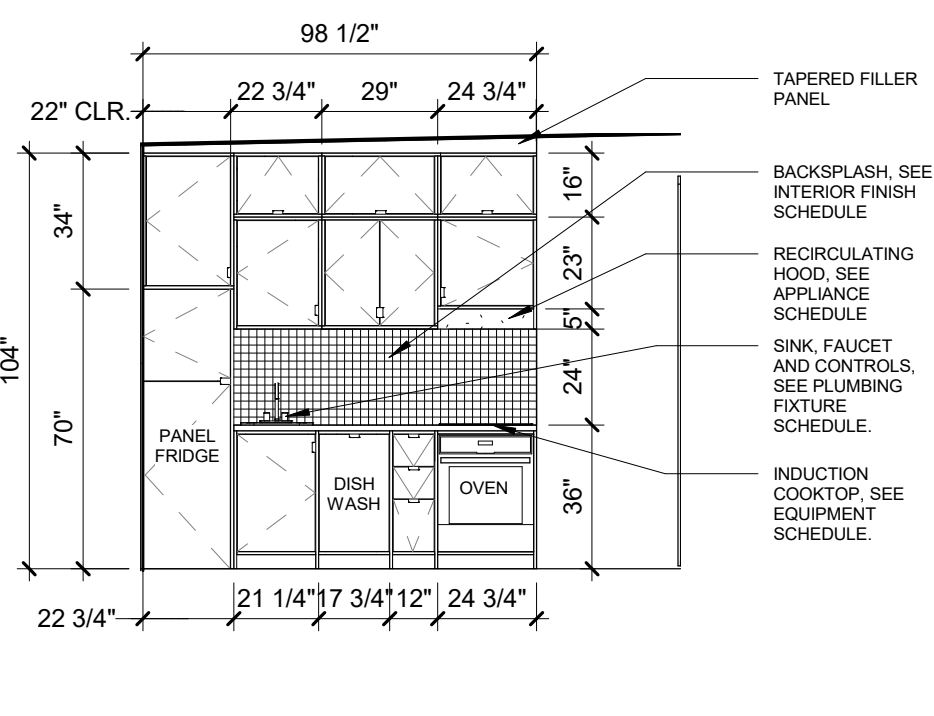
**1 Floor Plan**  
1/4" = 1'-0"



**6 Bathroom - West**  
1/4" = 1'-0"

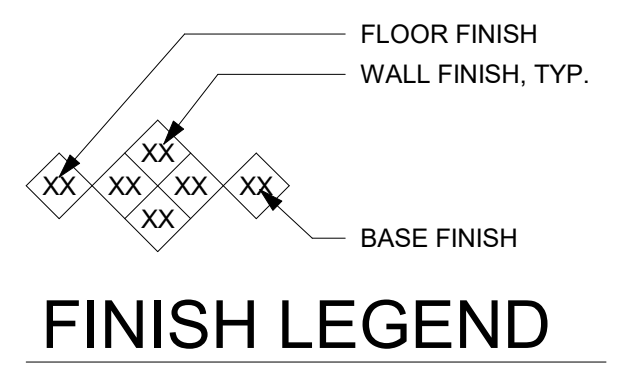


**7 Bathroom North**  
1/4" = 1'-0"



**8 Living - East**  
1/4" = 1'-0"

MARK	MATERIAL
<b>FLOOR</b>	
F1	FORBO MARMOLEUM SATELLITE
F2	TILE WHITE
F3	EXTERIOR DECKING
<b>BASE</b>	
B1	3" COVED TILE
<b>WALLS</b>	
W1	DRYWALL PAINTED WHITE
W2	BUILD-IN BED/WARDROBE WHITE PVC MATERIAL
W3	TILE WHITE - LIVING/KITCHEN WALL
W4	TILE WHITE - BATHROOM WALL
<b>CEILINGS/SOFFITS</b>	
C1	DRYWALL PAINTED WHITE
<b>COUNTERS</b>	
CT1	QUARTZ WHITE
<b>MILLWORK (KITCHEN &amp; BATHROOM)</b>	
M1	PVC WHITE



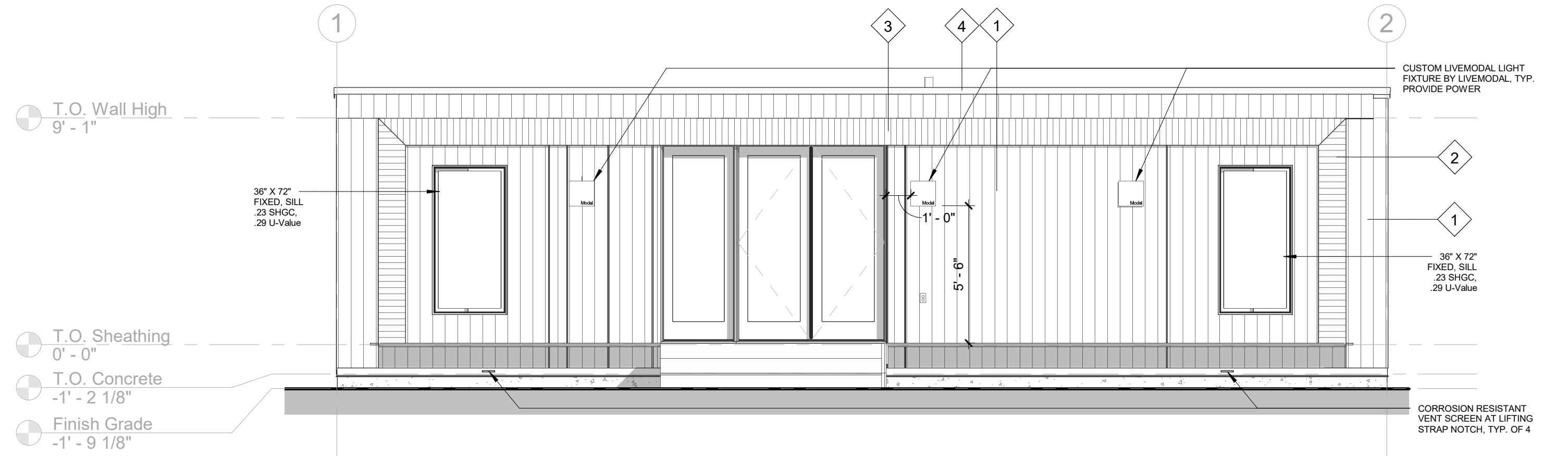
**INTERIOR FINISH SCHEDULE & LEGEND**

MARK	MATERIAL
1	LARGE VERTICAL EXTERIOR CLADDING HARDIE SHIPLAP SIDING COLOR WHITE
2	SMALL HORIZONTAL EXTERIOR CLADDING HARDIE SHIPLAP SIDING COLOR WHITE
3	SMALL VERTICAL EXTERIOR CLADDING HARDIE SHIPLAP SIDING COLOR WHITE
4	ROOF METAL FLASHING COLOR BLACK
5	ALUM. GUTTER AND DOWNSPOUT COLOR TO MATCH EXTERIOR SIDING
6	STEEL HANDRAIL POWDERCOAT METAL COLOR TBD
7	STAIR RISERS & STRINGERS STAIN TO MATCH DECK FINISH

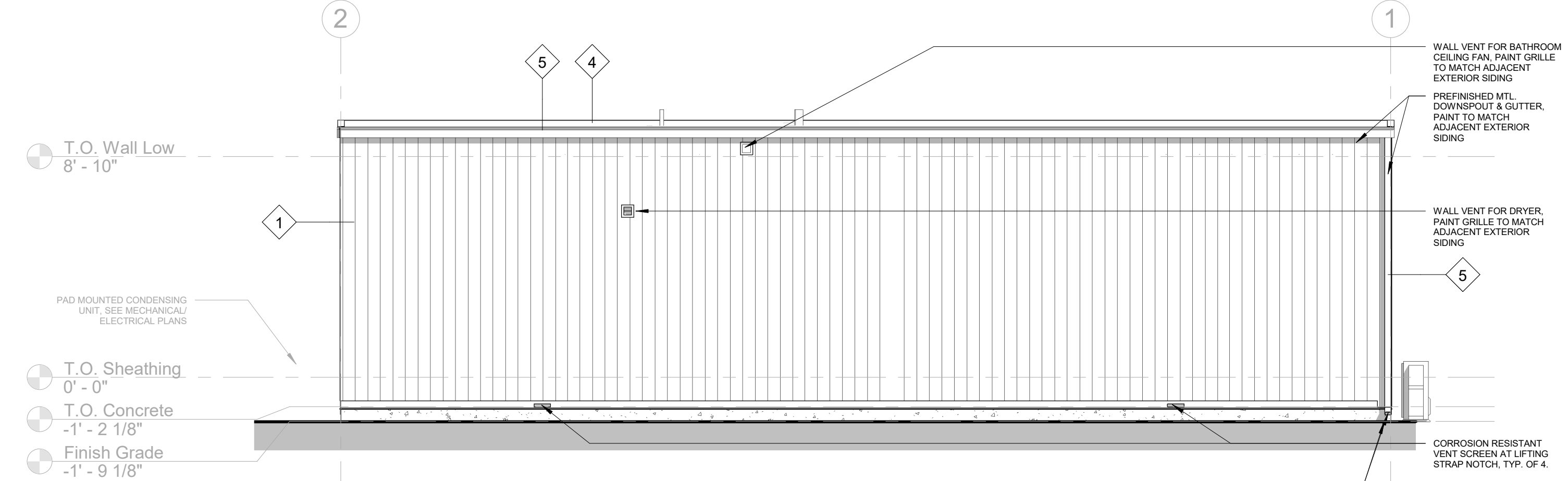
**EXTERIOR FINISH SCHEDULE**

**NOTE : FOR WINDOW INFORMATION SEE FLOOR PLAN AND ELEVATIONS ON THIS SHEET**

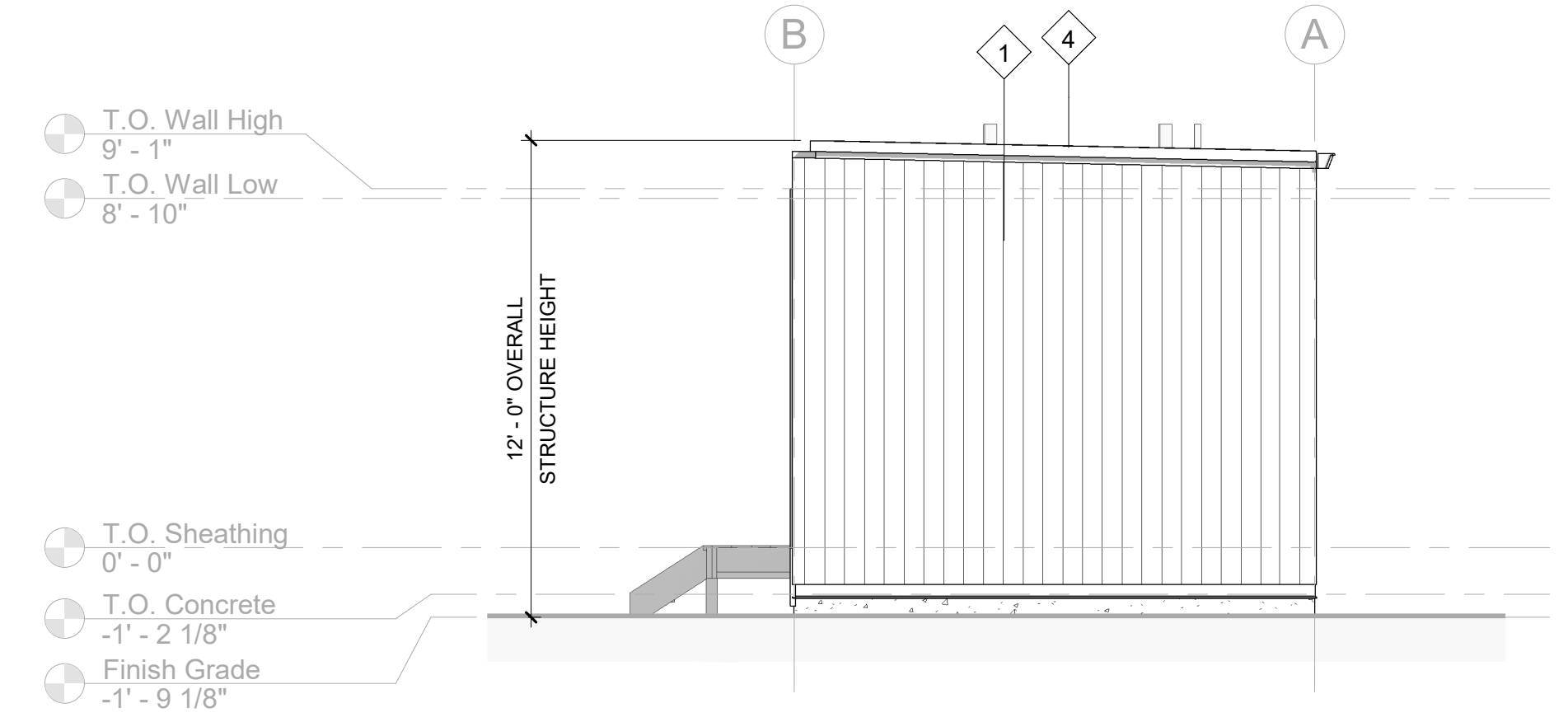
DOOR SCHEDULE						
Mark	Width	Height	Thickness	Door Material	Finish	Comments
100	6' - 0"	8' - 0"	0' - 1 3/4"	ALUMINUM CLAD WOOD	BLACK	ALUMINUM CLAD WOOD - EXTERIOR, TRIMLESS W/ 1/2" REVEAL - INTERIOR
102	3' - 0"	8' - 0"	0' - 1 3/4"	ALUMINUM CLAD WOOD	BLACK	ALUMINUM CLAD WOOD - EXTERIOR, TRIMLESS W/ 1/2" REVEAL - INTERIOR
103	2' - 6"	8' - 0"	0' - 1 3/4"	SOLID CORE WOOD	BLACK HINGED	TRIMLESS
103	2' - 6"	8' - 0"	0' - 1 3/4"	SOLID CORE WOOD	BLACK HINGED	TRIMLESS
103	2' - 6"	8' - 0"	0' - 1 3/4"	SOLID CORE WOOD	BLACK HINGED	TRIMLESS



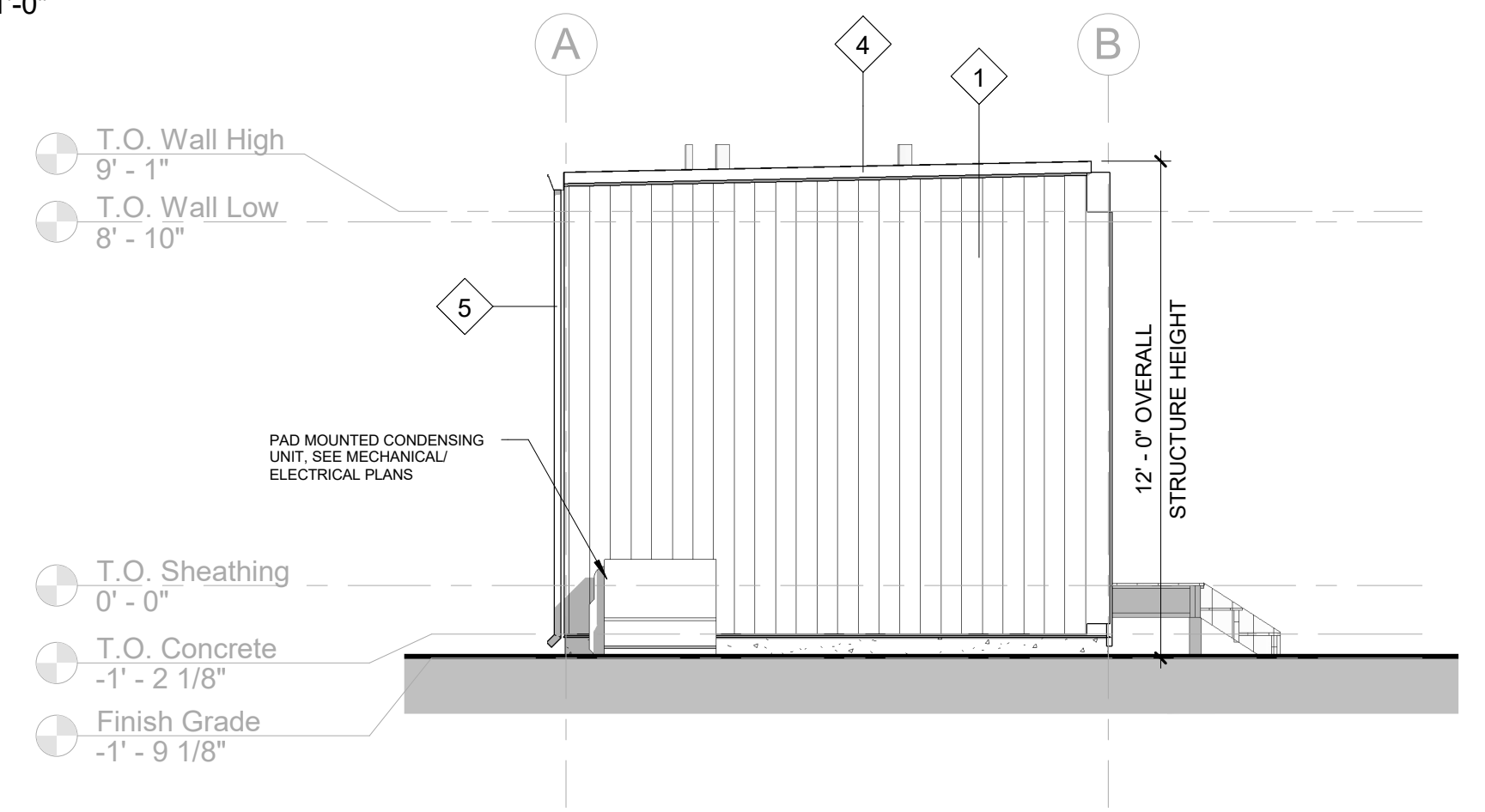
**2 FRONT ELEVATION**  
1/4" = 1'-0"



**3 REAR ELEVATION**  
1/4" = 1'-0"



**4 SIDE ELEVATION 1**  
1/4" = 1'-0"



**5 SIDE ELEVATION 2**  
1/4" = 1'-0"

REVISIONS	
PERMIT SET	07/20/21
CONFORM SET	MARK DATE
PLOT DATE 10/01/2020	
PROJECT	2032
DRAWN BY	Author
CHECKED BY	Checker
SHEET TITLE	

FLOOR PLAN, ELEVATIONS & SCHEDULES

**ALT000**